

TO: MAYOR & COUNCILLORS
FROM: DEPUTY GENERAL MANAGER PARKS, RECREATION AND CULTURE
SUBJECT: MINTARA EVENT CENTER – OUTDOOR SEATING EXPANSION
PURPOSE: To seek approval for the proposed final design of the Mintara Event Center outdoor seating expansion and to provide gazebo design options for information.

RECOMMENDATION

THAT approval be given to the final design of the Mintara Event Center outdoor seating expansion, as outlined in the report titled “Mintara Event Center – Outdoor Seating Expansion” dated March 11, 2024.

1.0 POLICY SECTION

The advancement of this project is aligned with the following Council-adopted policies, plans and strategies: Burnaby Economic Development Strategy (2007) and the Corporate Strategic Plan (2017).

2.0 BACKGROUND

Located atop Burnaby Mountain, Mintara Event Center sits adjacent to the Centennial Rose Garden and offers views of the Burrard Inlet, the Coast Range Mountains as well as the many cities across the metro Vancouver region. Its unique mountain top location, setting and capacity make it a popular venue for various types of events and special occasions. As a profitable service, it also aligns with the City’s core values and helps to offset costs associated with other subsidized programs within Parks, Recreation and Culture (PRC).

In 2019, the third-party operators of the facility decided not to renew its lease and Council directed PRC staff to add the operation to its suite of food service offerings for residents and visitors. At this time, the Event Center’s interior was renovated and transformed into a desirable and unique Event Center and special event venue, with future plans to invest in an expanded outdoor patio.

In January 2022 Council gave approval for the upgrade and expansion of the outdoor patio at Mintara Event Center. Mintara re-opened to the public after renovations in the summer of 2022. Since then staff have gained a better understanding of the market and needs, which has informed the design now presented for Council’s consideration as outlined in this report.

3.0 GENERAL INFORMATION

The patio design has been carefully developed to complement both the existing architecture and the adjacent ‘The Playground of The Gods’. It will enhance the Event Center’s functionality and aesthetic appeal. This approach promotes an environment that enhances and resonates with the distinctive character of the site. The architectural massing and its intentionally angled orientation are designed to follow the site's topography, thereby accentuating the views toward the urban skyline.

The patio, encompassing 2,000 sq. ft. and offering 50 seats in addition to the 120 seats available indoors, can be utilized in all seasons, making it ideal for dining and events, thus enhancing profitability. It will be enclosed with fully operable glass panels, features a radiant floor heating system and is designed to accommodate a forced air-cooling system if needed, ensuring its suitability for all-season use. It also features a complete bar and barbecue section and is an ideal venue for weddings and other significant events. The new patio will also be fully accessible with a zero-threshold condition.

The next phase of the Mintara Event Center renewal is the installation of a gazebo on the SE or NW side of the Center. Staff have engaged a design team and are exploring several options that would likely be included in the 2025 capital plan for Council’s consideration.

3.1 Project Timelines

The construction of the Mintara Event Center patio is scheduled to start in September 2024, and the gazebo(s) are planned to be built in 2025. This report seeks approval for the patio's final design. A future Council report will provide comprehensive details regarding the gazebo(s), including a cost analysis.

4.0 COMMUNICATION AND COMMUNITY ENGAGEMENT

Not applicable.

5.0 FINANCIAL CONSIDERATIONS

The Class B construction estimate of the patio expansion (Attachment 1) is broken down as follows:

Construction Cost	\$2,358,300
Consultant Design Fee	\$270,000
Estimated Total	\$2,628,300

As per the cost estimate provided, the patio design and construction are expected to be completed with a budget of \$2,628,300.

Funding for this project will be accommodated within the 2024-2028 Financial Plan under Parks, Recreation & Culture, Burnaby Mountain - Mintara Outside Patio Expansion with a budget of \$1,800,000. Staff will look to re-allocate the remaining \$828,300 required from other projects within the 2024-2028 Capital Plan to accommodate the completion of this project.

As noted above, Mintara Restaurant is a profitable service and this investment will expand existing service levels, and therefore profits, at the Mintara Event Center. Based on staff's analysis, the investment of \$2.62 million is expected to be recouped in approximately 6.5 years and yield an annual return of \$400,000.

Respectfully submitted,

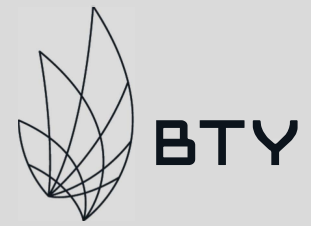
Carmen Gonzalez, Deputy General Manager Parks, Recreation and Culture

ATTACHMENTS

Attachment 1 – Mintara Patio Class B Estimate Report

REPORT CONTRIBUTORS

This report was prepared by Mehrdad Bozorgnia, Project Manager PRC PMO, and reviewed by Sarah Kosari, Senior Manager PRC PMO; Bob Farahani, Director PRC PMO & Enterprise Services.



COST MANAGEMENT REPORT

MPG Mintara Patio Class B Estimate

REPORT NUMBER 1.0
FEBRUARY 7, 2024

PREPARED FOR:
Rafael Santa Ana Architecture

Suite 300 – 30 East 6th Avenue, Vancouver, BC V5T 1J4
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APPENDIX II	Design Drawings	4 pages

Willie Yeung

Joseph Chan

2/7/2024



1.0 Introduction

1.1 Instructions Received

This report has been prepared by BTY Group (“BTY”) at the request of Rafael Santa Ana Architecture (the “Client”).

Rafael Santa Ana Architecture has appointed BTY to provide a Class B estimate developed for the renovation of the Mintara Restaurant at 100 Centennial Way, Burnaby, B.C. (the “Project”). The Project delivery model is yet to be determined, therefore, BTY strongly recommends that estimates are prepared at each of the key design milestones. This report has been prepared in accordance with the scope of our Fee Proposal, dated November 7, 2023 and is subject to the terms of that appointment.

Information related to the Project for the purposes of this report was received by BTY on January 15, 2024. Please refer to Section 13.0 for a list of information received in producing this report.

1.2 Report Reliance

This Report is owned by BTY Group, and it is provided for the benefit and sole reliance of the Client. BTY Group, its directors, staff, or agents do not make any express or implied representation or warranty whatsoever as to the factual accuracy of the information provided to us on behalf the Client, its subcontractors or agents, upon which this Report is based. This Report contains confidential, proprietary information and related intellectual property rights of BTY Group which is licensed on a non-exclusive and limited basis to the Client and the Report may not be reproduced, transferred, copied, shared, or distributed, in whole or in part, to any party, without the express prior written permission of BTY Group.

1.3 Reporting Qualifications

This Report has been prepared based on information provided to us by the Client up to the date of issue of this Report. BTY Group does not accept any liability or accountability for information that has not been provided, or made available to us, at the time of preparing this Report. Any advice, opinions, or recommendations within this Report should be read and relied upon only in the context of the report as a whole. The contents do not provide legal, insurance or tax advice or opinion. Opinions in this report do not an advocate for any party and if called upon to give oral or written testimony it will be given on the same assumption.

1.4 Contacts

Should you have any queries regarding the content of this report, please do not hesitate to contact either of the following:

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2.0 Executive Summary

2.1 Report Purpose

The purpose of this report is to provide a realistic estimate of the Project cost based on the information available at the time of writing.

The opinion expressed in this report has been prepared without the benefit of detailed architectural, structural, mechanical and electrical drawings and should, therefore, be considered a Class B estimate. Based on the documents reviewed, our estimate should be correct within a range of approximately +/- 10% to 15%.

In order to provide an accurate cost estimate for the Project, BTY Group strongly recommends that a professional Quantity Surveying organization, such as BTY Group, be retained to provide a detailed analysis of any design information produced on behalf of the Client during the remaining stages of design.

2.2 Project Background and Description

The proposed renovation of the existing Mintara Restaurant includes the following scope of work:

- Remove existing outdoor deck, planting area and asphalt pathway adjacent the deck,
- Construct new storage area under patio with exterior wall enclosure,
- Construct new outdoor wood deck with stair, glazed screen and steel guardrails,
- Construct new glazed roof over new deck,
- Construct new planting area and concrete pathway adjacent to the new deck.

3.0 Development Cost Summary

The current estimated cost of the project may be summarized as follows:

A Land Cost (Excluded)	0
B Construction	2,358,300
C Soft Costs (provided by the client)	270,000
D Furnishing, Fittings & Equipment and other soft costs (Excluded)	0
E Goods & Services Tax (Excluded)	0
Sub-Total Project Cost	\$2,628,300
F Escalation (Excluded)	0
Total Project Cost (February 2024 Dollars)	\$2,628,300

Please note that, where zero-dollar values are stated, BTY has excluded these costs and the values should be carried in a separate budget (if applicable).

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4.0 Project Cost Estimate

The estimated project costs may be summarized as follows:

1 Land	0
2 Legal Fees	0
1 Renovations	2,246,000
2 Hazardous materials removal	excl.
3 Design Contingency (Exlcuded)	0
4 Post Tender Change Order Contingency (5%)	112,300
1 Professional fees (provided by the client)	270,000
2 Development Cost Charges	excl.
3 Building Permits	excl.
4 Pre-Construction Service	excl.
5 Owners Planning and Administrative Cost	excl.
6 Project Insurance	excl.
7 Project Commissioning	excl.
8 Moving and decanting	excl.
SUB-TOTAL PROJECT COST	\$2,628,300
TOTAL PROJECT COST (February 2024 Dollars)	\$2,628,300

5.0 Basis & Assumptions

The construction estimate is based on the following list of assumptions:

1. All works will be carried out during normal working hours,
2. Consumption of temporary power and water during renovation will be paid by owner,
3. Steel guardrails to new deck and stairs,
4. 1" diameter steel roof bracing to roof,
5. 12" Concrete wall along grind lines 02 & 12 instead of wood columns & steel bracing at lower level,
6. No requirements to relocate underground services,
7. A 5% general contractor's fees included,
8. Refer to Appendix I cost plan for other assumptions.

Please note that BTY is not qualified to act as design consultant. The assumptions in our estimate should be reviewed and corrected by the design team.

6.0 Exclusions

The construction estimate includes all direct and indirect construction costs derived from the drawings and other information provided by the Consultants, with the exception of the following:

1. Planning, administrative and financing costs,
2. Legal fees and agreement costs / conditions,
3. Building permits,
4. Temporary facilities for user groups during construction,
5. Removal of hazardous materials from existing site and building,
6. Loose furnishings and equipment,
7. Unforeseen ground conditions and associated extras,
8. Phasing of the works and accelerated schedule,
9. Decanting & moving,
10. Erratic market conditions, such as lack of bidders, proprietary specifications,
11. Cost escalation past February 2024.

7.0 Construction Cost Summary

The estimated construction cost of the project may be summarized as follows:

A. Structural		490,200
B. Architectural		833,700
C. Mechanical		217,300
D. Electrical		156,500
E. Site Development		179,200
F. Ancillary Works (Demolition)		32,900
G1. General Requirements	12%	229,200
G2. Fees	5%	107,000
SUB-TOTAL CONSTRUCTION COST		\$2,246,000
H. Contingencies		
H1. Design Contingency (Excluded)		0
H2. Construction Contingency (5%)	5%	112,300
J. Goods & Services Tax	0%	0
TOTAL CONSTRUCTION COST		\$2,358,300

8.0 Taxes

The estimate includes the Provincial Sales Tax (P.S.T.) where applicable.

The estimate excludes the Goods & Services Tax (G.S.T.).



9.0 Project Schedule & Escalation

No cost escalation allowance has been included in this estimate. BTY strongly recommends that the client establish a separate budget to cover the escalation cost from the date of this estimate to the mid-point of construction of the project. Our current projected escalation rates are shown below:

	2024	2025	2026 +
Current BTY Group Forecast	5%	4%	4%

10.0 Pricing

This estimate has been priced at first quarter 2024 rates assuming a normal market. The unit rates utilized are considered appropriate for a project of this type, bid under a Design-Bid-Build model in an open market, with a minimum of five (5) bids, supported by a sufficient number of sub-contractors to ensure competitiveness.

The estimate allows for labour, material, equipment and other input costs at current rates and levels of productivity. It does not consider extraordinary market conditions, where bidders may be few and may include in their tenders' disproportionate contingencies and profit margins.

11.0 Risk Mitigation

BTY Group recommends that the Owner, Project Manager and Design Team carefully review this document, including exclusions, inclusions and assumptions, contingencies, escalation and mark-ups. If the project is over budget, or if there are unresolved budgeting issues, alternative systems/schemes should be evaluated before proceeding into the next design phase.

Requests for modifications of any apparent errors or omissions to this document must be made to BTY Group within ten (10) days of receipt of this estimate. Otherwise, it will be understood that the contents have been concurred with and accepted.

It is recommended that BTY Group design and propose a cost management framework for implementation. This framework would require that a series of further estimates be undertaken at key design stage milestones and a final update estimate be produced which is representative of the completed tender documents, project delivery model and schedule. The final updated estimate will address changes and additions to the documents, as well as addenda issued during the bidding process. BTY Group is unable to reconcile bid results to any estimate not produced from bid documents including all addenda.



12.0 Contingencies

12.1 Design Contingency

No design contingency has been included in this estimate (as instructed by the client) but BTY strongly recommends that the client establish a design contingency to allow for design development during the key design stages.

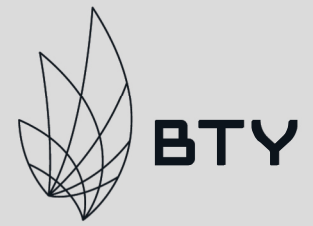
12.2 Construction Contingency

An allowance of Five Percent (5%) has been included in the estimate for changes occurring during the construction period of the project. This amount may be expended due to site conditions or if there are modifications to the drawings and specifications.

13.0 Documents Reviewed

The list below confirms the information that we have reviewed in order to prepare our opinion contained within this report:

Description	Revised Date
Drawings & Specifications	
Architectural Set (18 sheets)	December 6, 2023
Structural Set (7 sheets)	December 22, 2023
Patio Interior Set (3 sheets)	January 4, 2024
Electrical Set (11 sheets)	December 15, 2023
Mechanical Set (11 sheets)	January 26, 2024
Landscape Set (5 sheets)	December 18, 2023



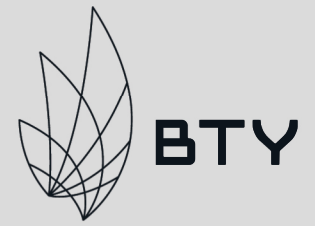
COST MANAGEMENT REPORT

MPG Mintara Patio

APPENDICES

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APPENDIX I

Cost Plan

10 PAGES

Description	Quantity	Unit	Rate	Amount
1 - Patio				
A. Structural				
Concrete slab on grade 5" thick with poly sheet & 3" granular sub-base (F3)	2,139	ft ²	10.00	21,400
3/4" plywood sheathing on 2x10 wood joist with mineral wool insulation (F1)	1,840	ft ²	15.90	29,300
3/4" plywood sheathing on 2x10 wood joist with mineral wool insulation & 1/2" plywood soffit (F2)	312	ft ²	20.10	6,300
2" concrete topping on wood floor w/ vapour barrier	2,152	ft ²	5.00	10,800
Glulam floor beam 8.5" x 19.5"	426	ft	228.00	97,100
Glulam roof joist 8.5" x 19.5"	407	ft	228.00	92,800
Glulam roof joist 10.25" x 27"	72	ft	381.00	27,400
Glulam column C2 8.5" x 10.5"	109	ft	123.00	13,400
Glulam column C1 8.5" x 7.5"	367	ft	88.00	32,300
Steel bracing L2.5x2.5x0.5"	186	ft	64.00	11,900
Concrete footings with excavation & backfill				
F1 2.5' x 2.5' x 10" thick	12	no	610.00	7,300
F2 4' x 4' x 12" thick	9	no	1,250.00	11,300
SF1 22' x 7' x 22" thick	5	no	16,180.00	80,900
Concrete foundation wall 12" thick	55	ft ²	61.00	3,300
Concrete wall 12" thick	432	ft ²	61.00	26,400
Concrete pedestal 12" x 12" x 7" high	23	no	200.00	4,600
Steel rod (say 1" dia.) bracing to roof	623	ft	22.00	13,700
Total Structural				\$490,200

Description	Quantity	Unit	Rate	Amount
1 - Patio				
B. Architectural				
Exterior wall W1 including: 2x2 timber battens cladding @2" O.C. Weather resistant membrane 3/4" horizontal strapping 5/8" plywood sheathing 2x4 wood studs @16" O.C.	520	ft ²	69.00	35,900
Nana wall 29'-6" x 9'-6" (as per quote from client)	280	ft ²	142.86	40,000
Exterior storefront to fill up door opening - double glazing	21	ft ²	150.00	3,200
Exterior storefront - single glazing	1,164	ft ²	130.00	151,300
Exterior glazed single door 3' x 9'-6"		incl. above		
Steel double swing gates 2 - 3' x 7'	1	pr	2,000.00	2,000
Curtain wall skylight (as per quote from Sentinel Glass dated December 22, 2023)	2,642	ft ²	160.95	425,200
Modification & make good of existing roof	1	sum	5,000.00	5,000
2x2 timber battens @2" O.C. to soffit of 1/F overhang	312	ft ²	50.00	15,600
Steel frame with mesh guardrails 3'-6" high	67	ft	350.00	23,500
Polished concrete finishes to patio	2,152	ft ²	10.00	21,500
Floor finishes to lower level		not req'd		
Paint exposed wood ceiling to lower floor		not req'd		
Paint walls to lower floor		not req'd		
Allowance for misc. metals	1	sum	8,000.00	8,000
Allowance for interior signage	1	sum	1,000.00	1,000
Allowance for roof shades	1	sum	100,000.00	100,000

Description	Quantity	Unit	Rate	Amount
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1 - Patio

B. Architectural

Install equipment provided by owner	1	sum	1,500.00	1,500
Ice machine				
Under-counter cooler				
Glass washing machine				
Bar sink w/built-in glass rinser				
Cocktail station w/blender shelf				
Speed unit w/cutting board + dripwell				
Charcoal grille				
Upright refrigerator				

Total Architectural				\$833,700
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Description	Quantity	Unit	Rate	Amount
1 - Patio				
C. Mechanical				
Plumbing & Drainage				
Plumbing fixture				
Kitchen sink	2	no	2,500.00	5,000
Floor drain - allowance	1	sum	500.00	500
Hose bibb - allowance	1	sum	1,300.00	1,300
Plumbing piping				
Domestic water piping w/ insulation	165	ft	48.78	8,000
Connect to ex. domestic water piping	1	sum	1,000.00	1,000
Sanitary drainage piping	94	ft	36.59	3,400
Connect to ex. sanitary pipe	1	sum	500.00	500
Backflow preventor for site irrigation	1	sum	3,500.00	3,500
Kitchen sink connection	2	no	500.00	1,000
Glass washer, cocktail station and ice machine hook-up	3	no	500.00	1,500
Natural gas piping				
Natural gas pipe	131	ft	45.73	6,000
Connect to existing	1	sum	1,000.00	1,000
MUA, BBQ griller and firepit gas connection	1	sum	4,500.00	4,500
Allowance for heat trace	1	sum	1,500.00	1,500
Miscellaneous work	1	sum	2,500.00	2,500
Fire stopping				
Cleaning, flushing and disinfection				
As-built drawing				
Testing and commissioning				
Fire Protection				
Sprinkler fire protection system		no req'd		
Allowance for fire extinguisher	1	sum	2,400.00	2,400
Note: No requirement for sprinkler system / Kitchen fire suppression system.				

Description	Quantity	Unit	Rate	Amount
1 - Patio				
C. Mechanical				
HVAC				
HVAC equipment				
Gas-fired make up air unit ref. MUA-1 (1131cfm)	1	no	26,200.00	26,200
Kitchen exhaust fan ref. KEF-1 (1188cfm)	1	no	14,100.00	14,100
Kitchen range hood ref. KRH-1	1	no	19,600.00	19,600
Ductwork and distribution				
Ductwork	260	lb	22.73	5,900
Kitchen exhaust ductwork	198	lb	45.45	9,000
Insulation	354	sqft	7.90	2,800
Fire protected insulation - allowance for kitchen exhaust ductwork	154	sqft	32.52	5,000
Floor grille S-1	4	no	500.00	2,000
Balancing damper - allowance	4	no	150.00	600
Motorized damper - allowance	1	no	2,500.00	2,500
Allowance for piping for radiant floor heating	1	sum	34,000.00	34,000
In-slab hydronic radiant tubing				
Manifold assembly, connection and fittings				
Mechanical room piping				
Miscellaneous				
Allowance for exhaust ductwork penetration to ex. roof	1	sum	3,500.00	3,500
Allowance for make good to ex. roof covering	1	sum	2,000.00	2,000
Allowance for Housekeeping pad	1	sum	1,000.00	1,000
Firestop and smoke seal	1	sum	1,000.00	1,000
Noise & vibration isolation	1	sum	1,000.00	1,000
As built drawings	1	sum	2,500.00	2,500
Testing, balancing and commissioning	1	sum	3,981.00	4,000

Note: No heating allowance in storage (not shown in drawing)

Description	Quantity	Unit	Rate	Amount
1 - Patio				
C. Mechanical				
Controls				
Thermostat - allowance	2	no	750.00	1,500
MUA-1	1	no	800.00	800
KEF-1	1	no	800.00	800
Allowance for new equipment	1	sum	12,000.00	12,000
Radiant floor heating		incl.		
Control wiring	1	sum	17,500.00	17,500
As built drawings	1	sum	3,000.00	3,000
Testing, verification and commissioning	1	sum	1,424.00	1,400

Note:

Assume all new HVAC equipment will be stand alone controls.
 Assume no modification work ex. Controls

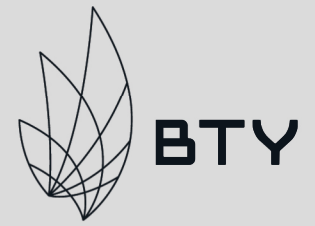
Total Mechanical	\$217,300
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Description	Quantity	Unit	Rate	Amount
1 - Patio				
D. Electrical				
Service & Distribution				
Allowance of modification of existing main distribution centre to accommodate new loads	1	sum	5,000.00	5,000
Existing circuit verification	1	sum	2,500.00	2,500
New Panel P, 225A, 120/240V	1	no	7,000.00	7,000
New feeders	1	sum	3,200.00	3,200
Grounding	1	sum	2,500.00	2,500
Miscellaneous	1	sum	1,100.00	1,100
Fire stopping		incl.		
As-built drawing		incl.		
Testing and commissioning		incl.		
Performing shut down and turn on main power after working hours	1	sum	1,600.00	1,600
Lighting, Devices & Heating				
Light fixture				
Disconnect and remove ex. light fixtures and light switches	4	no	150.00	600
Light fixture ref. A	1	no	550.00	600
Light fixture ref. B	9	no	450.00	4,100
Light fixture ref. C	4	no	450.00	1,800
Allowance for LED strip lighting	450	ft	45.73	20,600
Light fixture ref. F - Track light with 5 heads	1	no	1,700.00	1,700
Light fixture ref. G	18	no	700.00	12,600
Light fixture ref. H1	29	no	800.00	23,200
Light fixture ref. H2	5	no	900.00	4,500
Light fixture ref. L	10	no	400.00	4,000
Exit sign	3	no	350.00	1,100
EM lighting inverter	1	no	3,500.00	3,500
Line voltage switch	2	no	150.00	300
Dimming switch; time control	4	no	250.00	1,000
Occupancy sensor	5	no	350.00	1,800
Photocell sensor	1	no	500.00	500
Branch wiring and conduit	1	sum	17,820.66	17,800

Description	Quantity	Unit	Rate	Amount
1 - Patio				
D. Electrical				
Power branch devices				
Disconnect and remove ex. power devices	5	no	150.00	800
5-15R GFI Duplex receptacle	4	no	180.00	700
5-20R GFI Duplex receptacle	8	no	190.00	1,500
5-20R GFI Duplex receptacle WP	4	no	220.00	900
5-20R GFI Duplex receptacle WP c/w S.S. enclosure	4	no	260.00	1,000
5-20R GFI Split receptacle	1	no	250.00	300
Power connection for kitchen equipment - allowance	8	no	300.00	2,400
Branch wiring and conduit	1	sum	9,520.00	9,500
Mechanical equipment connection				
MUA-1	1	no	500.00	500
KEF-1	1	no	350.00	400
Branch wiring and conduit	1	sum	1,750.00	1,800
Systems & Ancillaries				
Fire alarm system				
Demolish existing fire alarm devices	1	no	150.00	200
Manual pull station	3	no	250.00	800
Fire alarm strobe	1	no	250.00	300
Fire alarm bell	1	no	350.00	400
Smoke detector	8	no	250.00	2,000
Branch wiring and conduit	1	sum	4,900.00	4,900
Testing and verification	1	sum	1,500.00	1,500
Communication system				
Structured outlet	2	no	300.00	600
Branch wiring and conduit	1	sum	1,400.00	1,400
Tie-in to existing	1	sum	1,500.00	1,500
Testing and commissioning	1	sum	500.00	500
Total Electrical				\$156,500

Description	Quantity	Unit	Rate	Amount
1 - Patio				
E. Site Development				
Site preparation	5,185	ft ²	1.00	5,200
Hard surfaces				
New concrete paving	1,236	ft ²	15.00	18,500
Round washed river rock 4" thick with filter fabric	333	ft ²	14.00	4,700
Site improvements				
Relocate existing garbage receptacle	1	no	100.00	100
Custom bench (4/L3.0)	11	ft	410.00	4,500
Strip footing 2'-4" x 8" thick for retaining wall with perforated PVC footing drain	41	ft	400.00	16,400
Concrete retaining walls 8" thick	144	ft ²	54.00	7,700
Strip footing 2' x 10" thick for concrete wall	30	ft	140.00	4,200
Concrete walls 6" thick	356	ft ²	50.00	17,800
Stairs				
Concrete suspended stairs average 8.6' wide	14	risr	760.00	10,600
Concrete suspended stairs 5' wide	12	risr	470.00	5,600
Concrete suspended bench 7.38' wide	4	risr	2,350.00	9,400
Concrete suspended landing 10" thick	146	ft ²	60.00	8,800
Tactile indicator plate	24	ft ²	25.00	600
Anti slip carborundum insert strip	361	ft	16.00	5,800
Timber seat top	4	no	3,000.00	12,000
Stainless steel handrail	36	ft	160.00	5,800
Soft landscaping				
Tree	1	no	800.00	800
Shrubs #1 pot	229	no	10.00	2,300
Shrubs #2 pot	101	no	21.00	2,100
Shrubs #3 pot	46	no	32.00	1,500
Shrubs #5 pot	115	no	55.00	6,300
Growing medium	77	yd ³	57.00	4,400
Mulch 2" thick	1,377	ft ²	1.50	2,100
Irrigation system	1	sum	5,500.00	5,500
Landscaping maintenance (for 1st year)	1	sum	12,000.00	12,000
Mechanical site services				
Allowance for adjustment of ex. drains and utility covers	1	sum	2,000.00	2,000
Electrical site services				
Allowance for power for irrigation system	1	sum	2,000.00	2,000
Relocate ex. garbage receptacle	1	sum	500.00	500
Note: No allowance for relocation of existing underground services				
Total Site Development				\$179,200

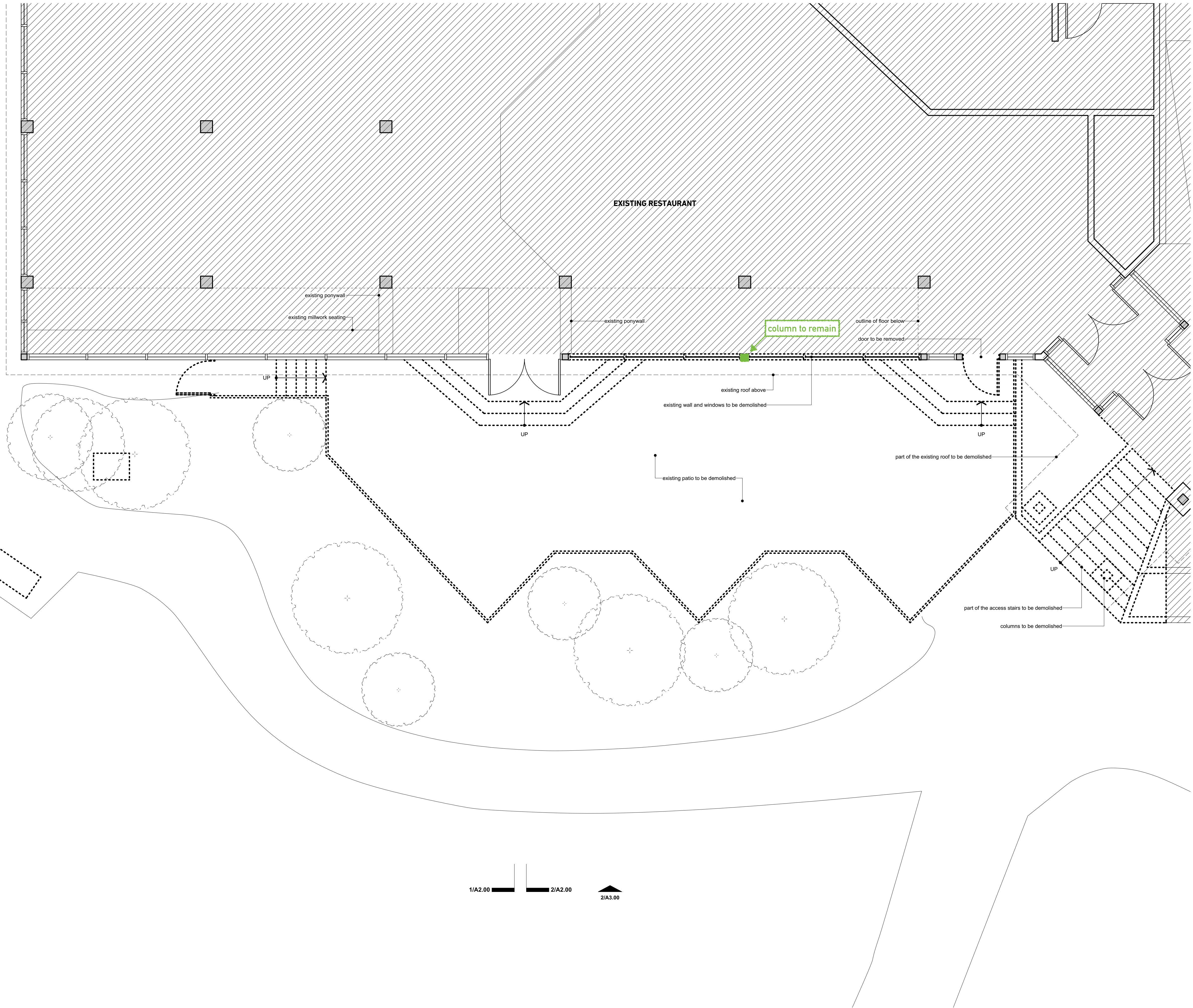
Description	Quantity	Unit	Rate	Amount
1 - Patio				
F. Ancillary Works (Demolition)				
Selective demolition				
Remove existing outdoor deck including footings, wood guardrails, wood stairs & wood gate	1,113	ft ²	8.00	8,900
Remove existing exterior storefront	192	ft ²	15.00	2,900
Remove existing exterior walls	89	ft ²	5.50	500
Remove existing exterior single door	1	no	200.00	200
Remove existing outdoor columns	2	no	750.00	1,500
Remove existing roof	63	ft ²	15.00	900
Remove part of existing outdoor stairs	103	ft ²	20.00	2,100
Remove existing hard/soft landscaping & misc. cut & fill	3,969	ft ²	4.00	15,900
<i>Total Ancillary Works (Demolition)</i>				<i>\$32,900</i>



APPENDIX II

Design Drawings

4 PAGES



- Legend**
- existing assembly to remain
 - existing structure to remain
 - existing assembly to be demolished
 - new GLT structure
 - new concrete wall
 - outside of scope of work
- Keynotes**

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Date: _____ Issue Notes: _____

No. Date Appr. Revision Notes

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6 Dec 2023

**RSA
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Mintara Patio + Gazebo

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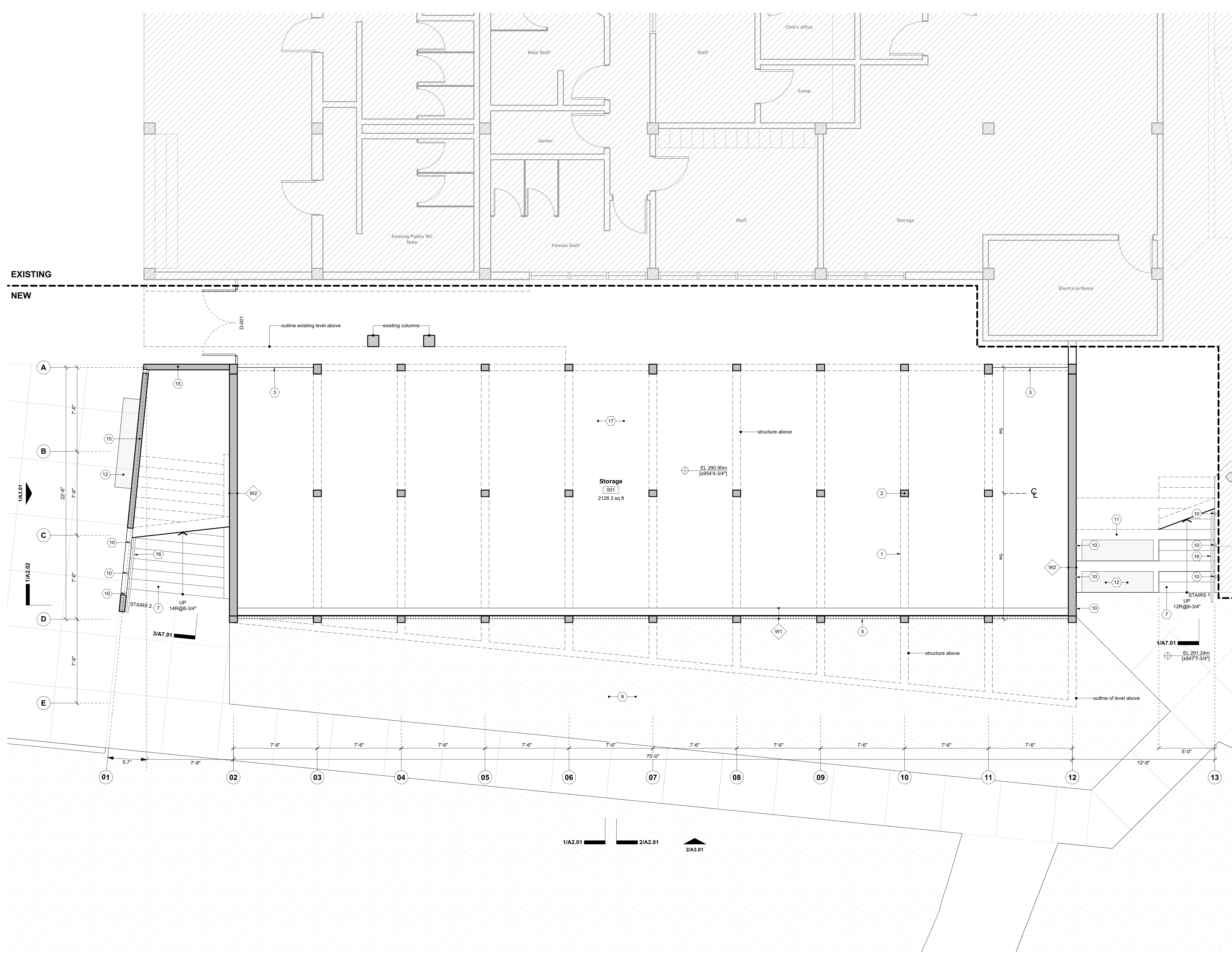
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status SD reviewed by RSA

Existing Main Floor
+ Demo Plan

A1.00

1/A2.00 2/A2.00 2/A3.00



- Legend**
- existing assembly to remain
 - existing structure to remain
 - existing assembly to be demolished
 - new GLT structure
 - new concrete wall
 - outside of scope of work

- Keynotes**
- 1 GLT beam (as per structural)
 - 2 GLT column (as per structural)
 - 3 L2.5X2.5X1/2" steel rod cross bracing (as per structural)
 - 4 glazed roof
 - 5 timber batten cladding
 - 6 railing @42" AFF
 - 7 concrete stairs
 - 8 bi-folding glass wall
 - 9 vegetation (as per landscape)
 - 10 LED lighting system
 - 11 concrete bench
 - 12 timber bench top
 - 13 glazed facade
 - 14 sliding glazed facade
 - 15 concrete wall
 - 16 stainless steel railing @36" AFF
 - 17 polished concrete
 - 18 sawcut in concrete
 - 19 expansion joint

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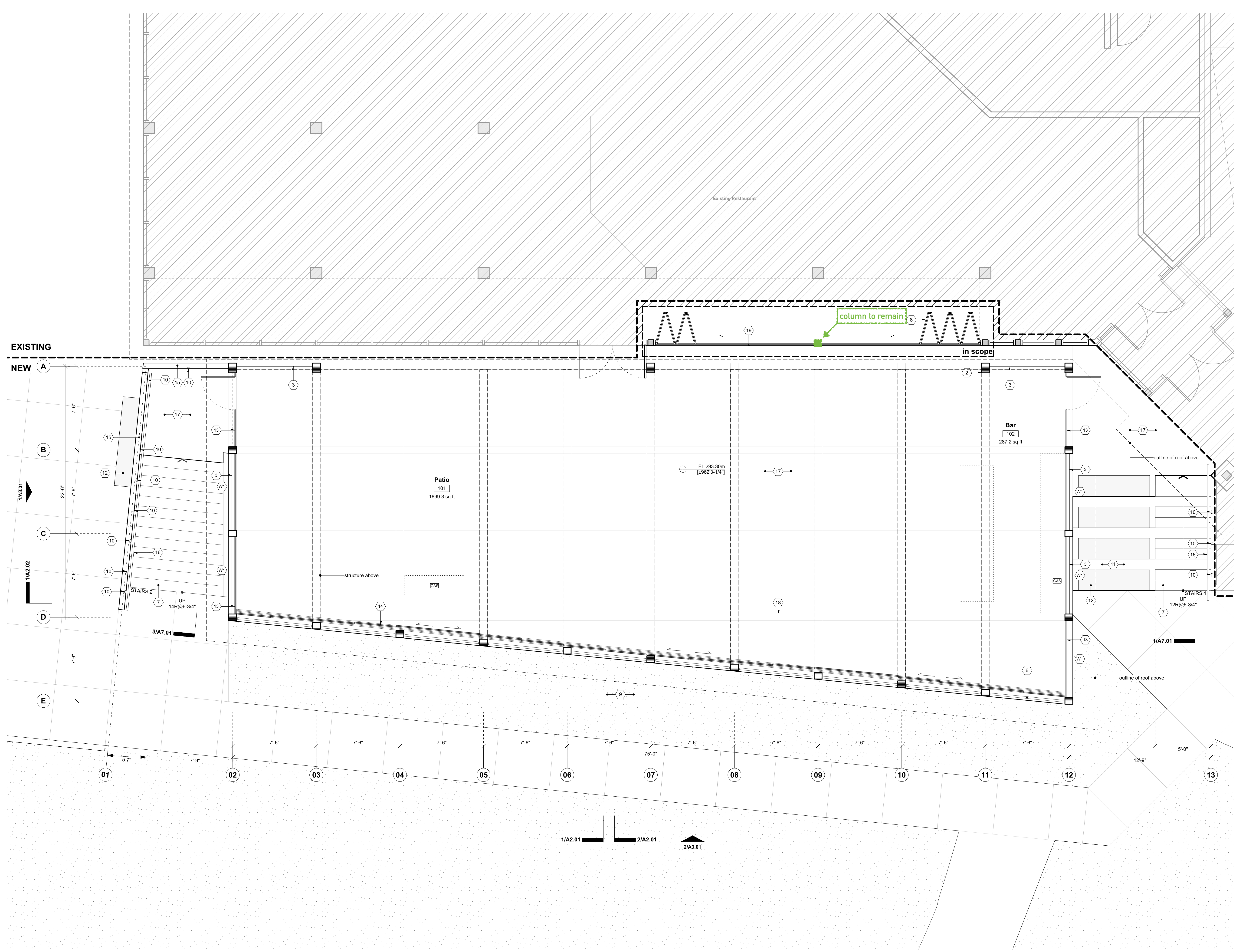
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Proposed Lower Floor Plan

A1.01



Legend

	existing assembly to remain
	existing structure to remain
	existing assembly to be demolished
	new GLT structure
	new concrete wall
	outside of scope of work

Keynotes

1	GLT beam (as per structural)
2	GLT column (as per structural)
3	L2.5X2.5X1/2" steel rod cross bracing (as per structural)
4	glazed roof
5	timber batten cladding
6	railing @42" AFF
7	concrete stairs
8	bi-folding glass wall
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15	concrete wall
16	stainless steel railing @36" AFF
17	polished concrete
18	sawcut in concrete
19	expansion joint

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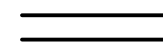





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Proposed Main Floor Plan

A1.02

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Date Issue Notes

- Legend**
-  existing assembly to remain
 -  existing structure to remain
 -  existing assembly to be demolished
 -  new GLT structure
 -  new concrete wall
 -  outside of scope of work

- Keynotes**
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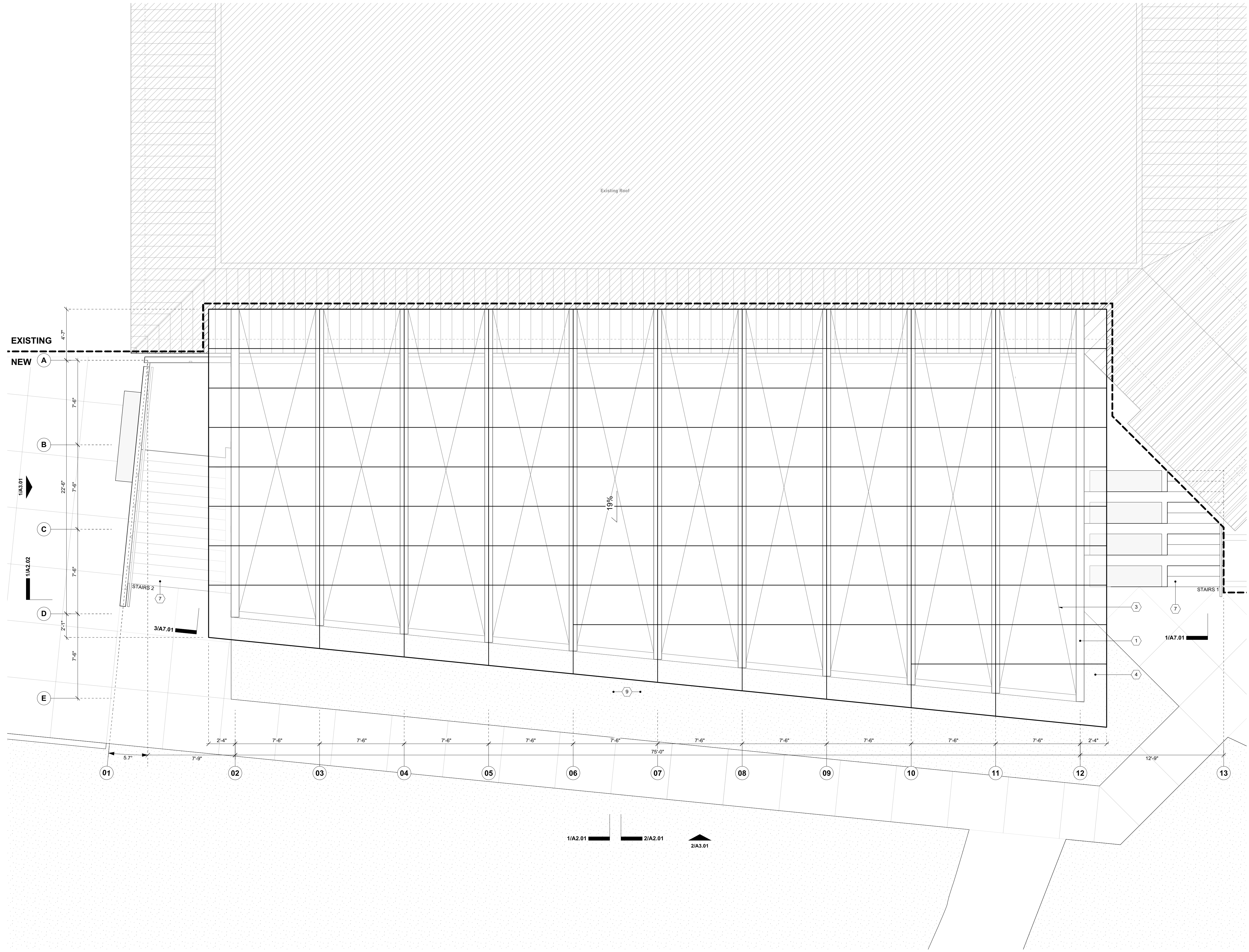
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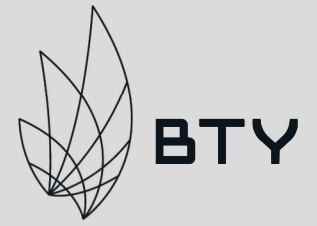
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Proposed Roof Plan

A1.04





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